



Plattsburgh, New York

Building & Zoning Dept.
41 City Hall Place
Plattsburgh, New York 12901
Ph: 518-563-7707
Fax: 518-563-6426

 USE
CLASS A VARIANCE

 X AREA
CLASS B VARIANCE

 SUP
SPECIAL USE PERMIT

Date: 10/26/2021

Appeal No.: 2302

An application is hereby made to the Zoning Board of Appeals pursuant to the City of Plattsburgh Zoning Ordinance for a variance to allow the property use as herein described.

Applicant: Andy Guay and Amy Couture

Applicant's Address: 50 Leonard Avenue Plattsburgh NY 12901

Telephone No.: _____

Parcel Identification: 233.8-3-17.1

Location of Request: 233.8-3-17.1, vacant lot

Property Owner: Andy Guay and Amy Couture

Request Description: Variance for rear yard setback

Zoning District: R-2 Residential District

Section Appealed: Section 360 attachment 2:1

Previous Appeal: No.: _____ Date: _____

Identify Applicant's Right to Apply for Variance:

Ownership: X Long Term Lease: _____ Contract To Purchase: _____

Other (Please Explain): _____

Applications for Zoning Variances must be accompanied by:

- 13 copies of existing and proposed site plan
- 13 copies of existing and proposed floor plan.

The Zoning Board of Appeals may impose reasonable conditions and restrictions on the grant of area and use variances provided they are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of the zoning law, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

Andy Guay
Signature (Owner/Applicant)

JOCELYN P. BOMBARD
Notary Public

JOCELYN P. BOMBARD
Notary Public, State of New York
#01B05072115
Qualified in Clinton County
My Comm. Expires 01-21-23



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PROCEDURE IN APPEALING THE ZONING ORDINANCE CLASS B VARIANCE

DEADLINE FOR FILING APPLICATION _____

ZONING BOARD MEETING DATE _____

The Zoning Board of Appeals has been empowered to hear and decide all appeals to the Zoning Ordinance and to do so the Board holds public meetings once a month.

The attached appeal application must be completely filled out and returned to the office for action by the Zoning Board of Appeals at their monthly meeting. The filing fee for said application is as follows:

One and Two-family dwellings -	\$50.00
Multiple Dwellings	\$150.00
Commercial Properties	\$150.00

All checks should be made payable to the "City Clerk". In order for your appeal to be heard in the same month you apply, the appeal form and fee must be received by this office three weeks prior to the scheduled meeting of the Zoning Board of Appeals. All applicants or their representatives should attend the Zoning Board of Appeals Public Meeting of their appeal to answer any questions the Board may have regarding their request.

In filling out the form, please be specific and supply the Zoning Board of Appeals with all the necessary information requested on the form. If you are requesting a variance from the ordinance, you must detail why the literal enforcement of the ordinance will produce an undue hardship, while the variance requested will adhere to the spirit of the ordinance and do substantial justice. Financial disadvantage to the property is no proof of hardship within the purpose of zoning. In addition to the above, an applicant must submit adequate drawings and a site plan of all requests, which will involve any construction, alterations, or physical change of their property. **Twelve (12) copies of the entire packet including drawings and site plans are required** (we recommend the plans be approved before the twelve (12) copies are made).

Before the Zoning Board of Appeals may hear and decide your appeal, this office must first:

1. Publish the request in three successive issues of the Press-Republican newspaper not less than five (5) nor more than ten (10) days before the hearings.
2. Notify, by letter, all adjoining property owners of your request

This office is responsible for implementing the above requirements.

If there are any questions, please contact this office.
Thank you for your cooperation.

October 26, 2021

City of Plattsburgh Zoning Board
City of Plattsburgh
41 City Hall Place
Plattsburgh, NY 12901

RE: Lands of Andy Guay and Amy L. Couture

Dear Members of the Zoning Board:

Andy Guay and Amy L. Couture, the owners of City of Plattsburgh tax parcel: 233.8-3-17.1, wish to construct a single family dwelling on the now vacant parcel.

Based on the current zoning ordinance, Schedule II, Schedule of Area and Bulk Controls, the required rear yard setback for the R-2 Zone is 25 feet. The current tax parcel's geometry prohibits the house as planned to be built without encumbering the rear setback. The proposed home's footprint has a 62' depth, but the current buildable depth of the lot is only 61.7'. The construction of the home as planned will cause a 0.3' encumbrance into the rear yard setback, thus requiring an area variance.

With regard to the criteria for granting an area variance, we offer the following:

Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;

The construction of this single family home is the first development of the lots on this portion of the former base property. A 0.3' variance would not be noticeable without the virtue of a survey. Therefore, the project will not change the character of the neighborhood or be a detriment to the neighboring properties.

Whether the benefit sought by the Applicant can be achieved by some method; feasible for the Applicant to pursue, other than an area variance;

The applicants had house plans designed and drawn utilizing buildable area provided by the seller. Upon applying surveyed measurements, relative to existing easement locations and setback requirements, it was determined that the foundation location would intrude in the rear setback. While the applicant could change their house plan design their deligents has brought them to make this request in hopes to not have the additional expense for the modification of house plans.

Whether the requested area variance is substantial;

The proposed request would lessen the rear yard requirement by one (1) foot is only a 4% variance request.

Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;

This request would not be noticeable to anyone without the virtue of a survey. The issuance of a variance would not have and adverse effect aesthetic and environmental condition in the neighborhood.

Whether the alleged difficulty was self-created;

The alleged difficulty is not self-created as the deminisions used for the home design were provided by the seller. Even if the Board was to consider the application self-created, Section 267-b(3)(b)(5) provides that a "self created hardship" would not preclude the Zoning Board of Appeals from granting a variance.

We hope that this information satisfies your concerns with respect to this matter, and ask that this request be placed on the agenda of the next Zoning Board of Appeals meeting for consideration. To assist in your review, we have enclosed an Area Variance Application, building plans, and site survey.

We thank you for your time in the review of this matter and if you have any further questions, please feel free to contact our office.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Aaron J. Ovios', with a stylized flourish at the end.

Aaron J. Ovios, P.E.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

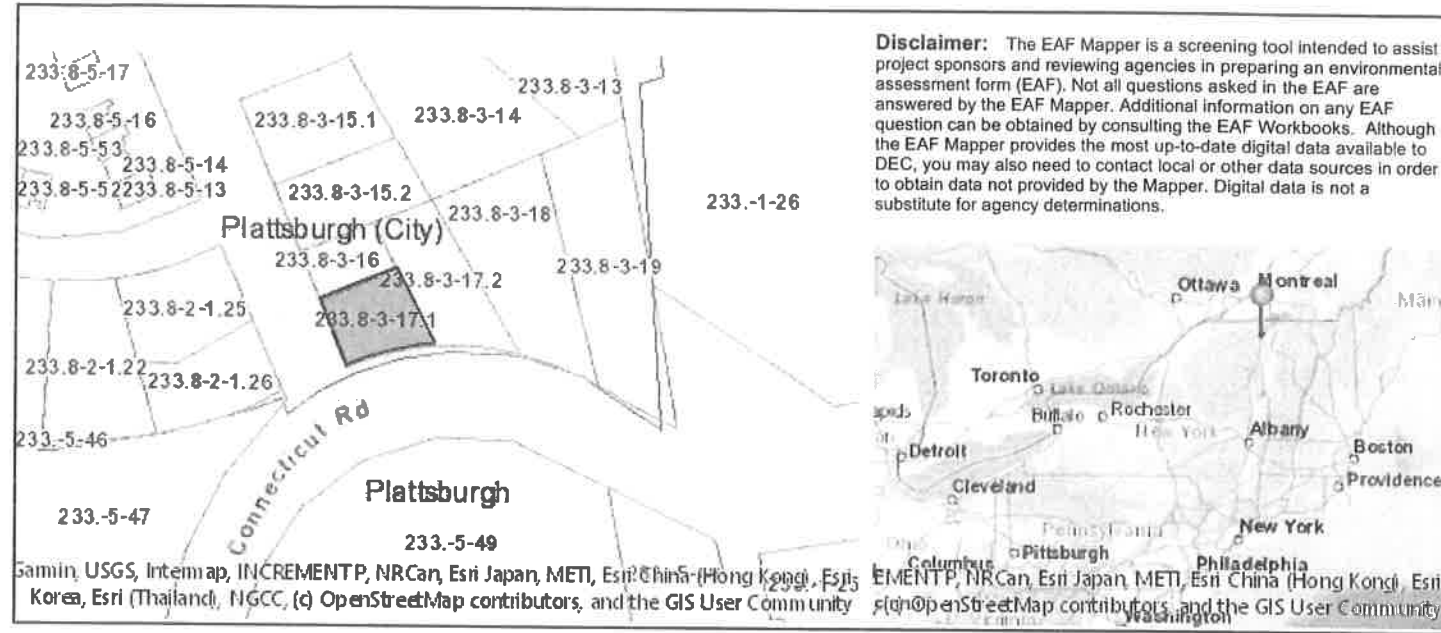
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Lands of Andy Guay and Amy L. Couture			
Project Location (describe, and attach a location map): City of Plattsburgh tax parcel: 233.8-3-17.1			
Brief Description of Proposed Action: The owners wish to construct a 2,850 sqft single family dwelling on the now vacant parcel.			
Name of Applicant or Sponsor: Andy Guay and Amy L. Couture		Telephone:	
		E-Mail:	
Address: 50 Leonard Avenue			
City/PO: Plattsburgh	State: NY	Zip Code: 12901	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Plattsburgh Class B Variance City of Plattsburgh Building Permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.24 acres			
b. Total acreage to be physically disturbed? _____ 0.07 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.24 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
City of Plattsburgh		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: <u>10/26/21</u> Signature: <u><i>Andy Quary</i></u> Title: _____		



- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] Yes

Map Notes:

1. Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of section 7209, sub-division 2 of the New York State Education Law.
2. Only copies from the original of this survey marked with an original of the Land Surveyor's embossed seal shall be considered valid true copies. (mylar prints shall be stamped with the surveyor's ink seal with an original signature)
3. Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person for whom the survey is prepared and on his behalf the title company, governmental agency, and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
4. Copyright 2021, Robert M. Sutherland, P.C. All rights reserved.
5. The location of sub-surface improvements are approximate and compiled from field location and mapping provided by the respective utility companies. The contractor shall confirm the location of all utilities prior to the commencement of excavation.
6. Subject to any findings of an accurate abstract of title or those discoverable by inspection.
7. Subject to any and all right of ways and easements of record, if any.
8. Missing property corners were not set as a result of this survey.

Reference Deed:

Mousseau Properties LLC to Andy Guay and Amy L. Couture by deed dated October 15, 2020 and recorded in Deed Instrument # 2020-311290 on November 4, 2020 in the Clinton County Clerk's Office.

Reference Map:

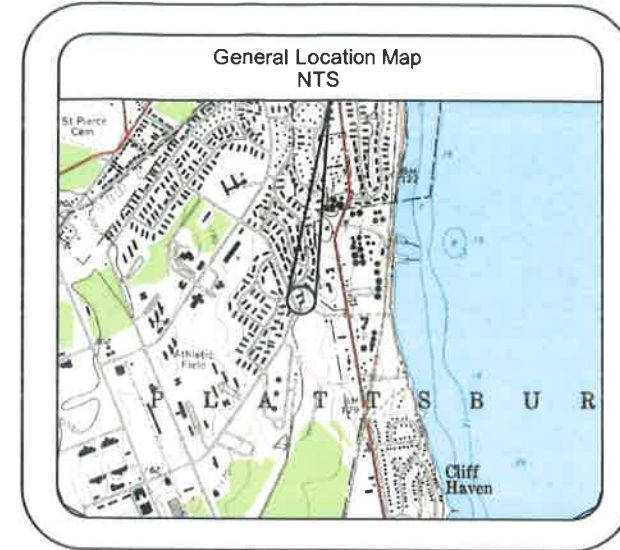
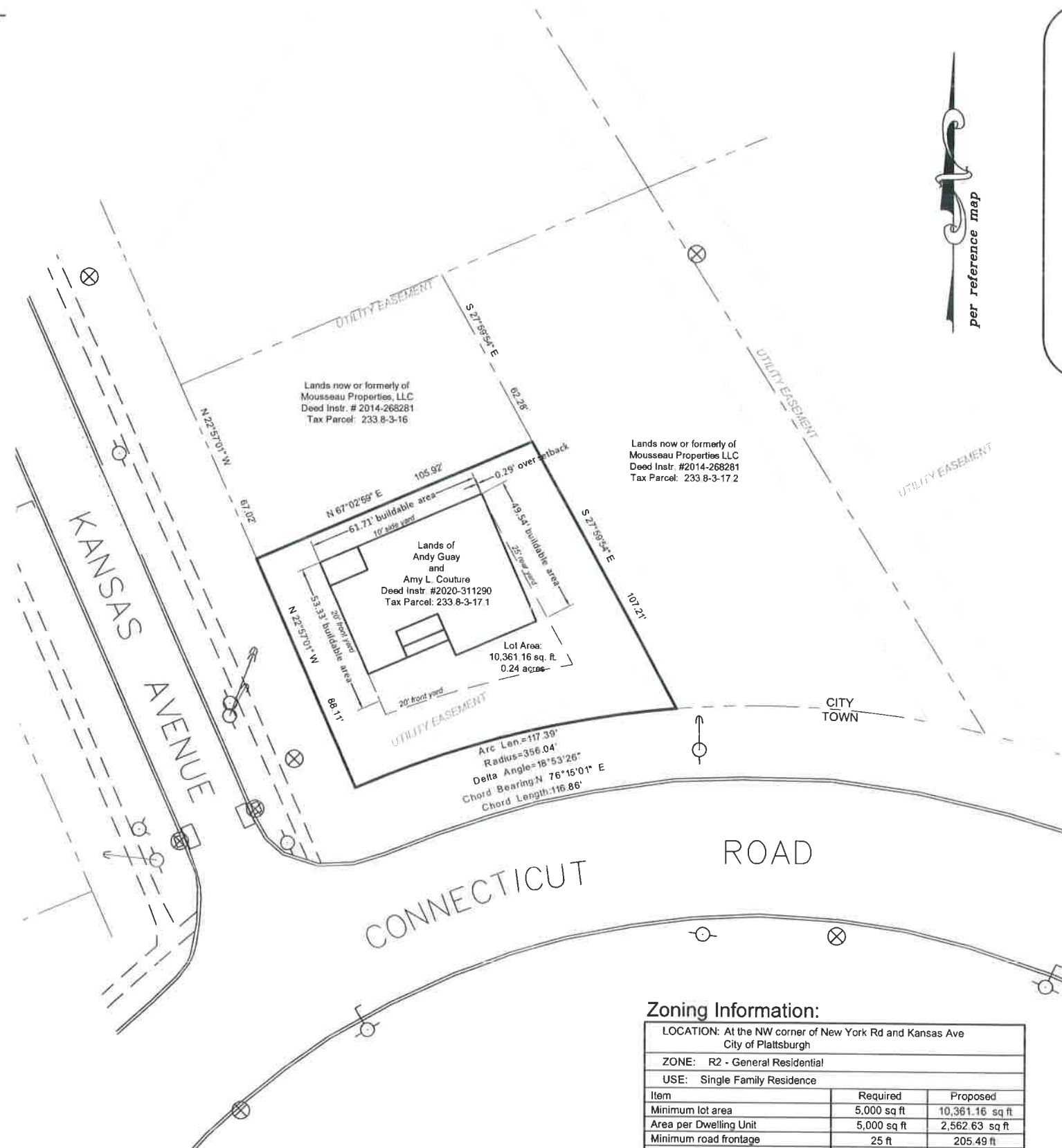
"West Shore Subdivision Amendment: Resubdivision of Lots 15, 16, and 17 Westshore Subdivision into New Lots M1, M2, M3, M4, and M5 Westshore Subdivision" prepared by Scott P. Allen, P.L.S. Dated May 13, 2015, Last revised September 16, 2015 and Filed in the Clinton County Clerk's Office as filed Filed Map Instrument # 2017-290740.

Certification:

I hereby certify to the parties of interest listed below that this survey was prepared from deeds and maps of record and from an accurate survey performed on ??/??/??.

1. (owner)
2. (title company)
3. (lending institution), its successors and assigns

Jeffrey F. Burns, L.S. Date
N.Y.S. License #050702



No.	Revision/Issue	Date

RMS
ROBERT M. SUTHERLAND P.C.
ENGINEERS - PLANNERS - SURVEYORS
SOIL & MATERIAL TESTING
11 MACDONOUGH STREET, PLATTSBURGH, NY 12901
518.561.6145(PH) 518.561.2496 (FX)
R M S P C . C O M

Project Name & Address
Map of Survey prepared for
Andy Guay and Amy L. Couture
showing
Certain Lands on Kansas Ave.
City of Plattsburgh
Clinton County State of New York

Project #	21257	Sheet	SURVEY
Date	10/26/2021		1
Scale	1" = 30'		
Drawn	JGH	Checked	JFB

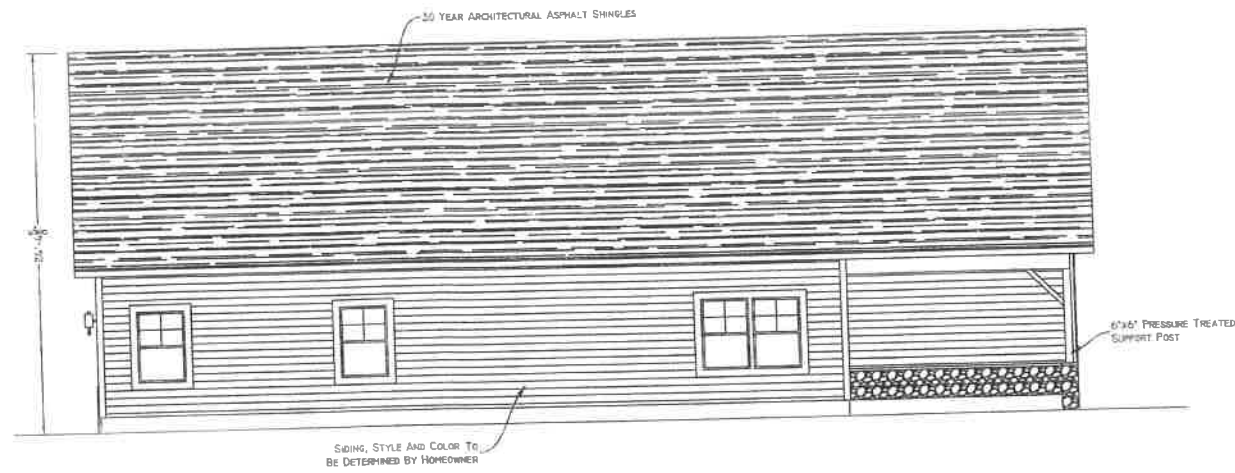
Zoning Information:

LOCATION: At the NW corner of New York Rd and Kansas Ave City of Plattsburgh		
ZONE: R2 - General Residential		
USE: Single Family Residence		
Item	Required	Proposed
Minimum lot area	5,000 sq ft	10,361.16 sq ft
Area per Dwelling Unit	5,000 sq ft	2,562.63 sq ft
Minimum road frontage	25 ft	205.49 ft
Minimum lot depth	100 ft	106 ft
Minimum front setback	20 ft	20 ft
Minimum side setback	10 ft/ 25 ft	10 ft
Minimum rear setback	25 ft	24.7' **
Maximum building height	35 ft / 2.5 Stories	1 Story
Maximum building coverage	30%	24.7%
Minimum open space	50%	75%

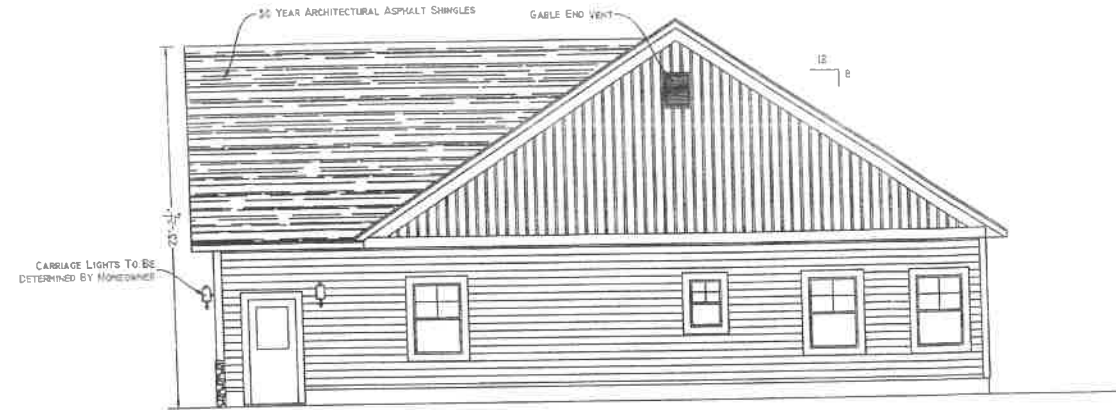
** Denotes variance required

Tax Map Reference:

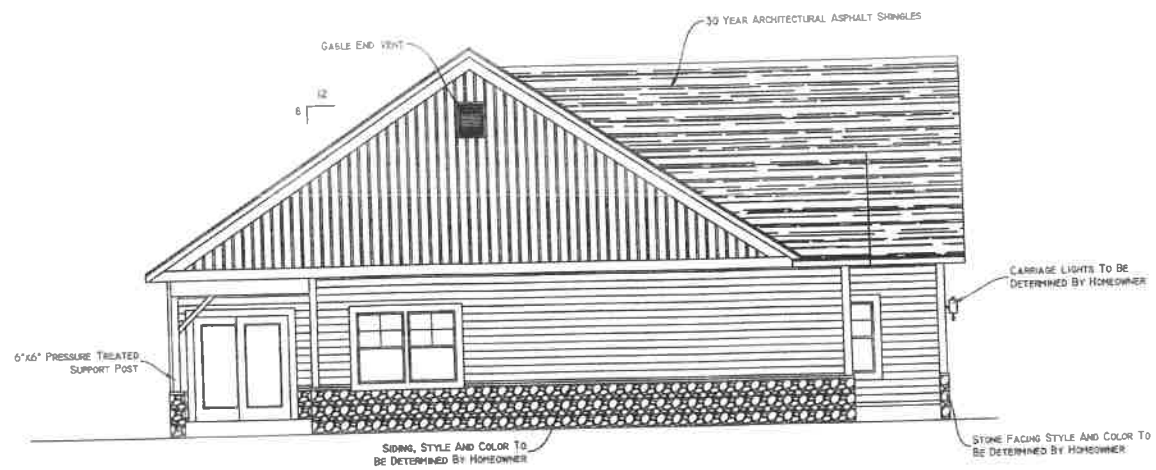
Section 233.8 - Block 3 - Lot 17.1
City of Plattsburgh
County of Clinton



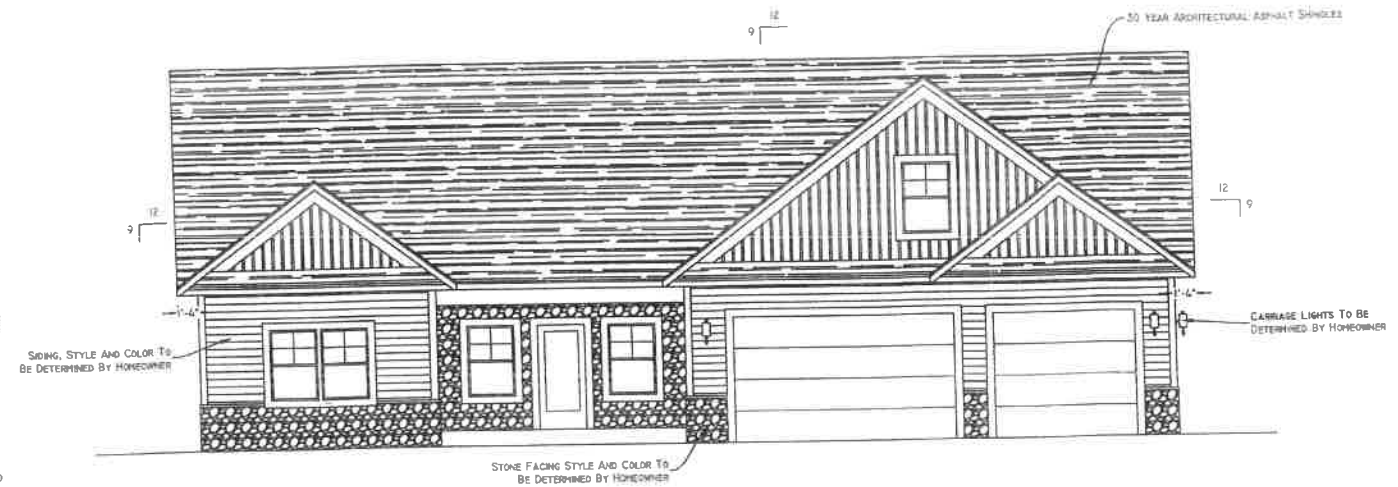
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

GUAY RENOVATIONS
CONNECTICUT ROAD
PLATTSBURGH, NEW YORK 12901
ELEVATIONS

LONER DRAFTING SERVICES

PAUL E. LONER
89 DAILY RIDGE, PLATTSBURGH, NEW YORK 12901
PHONE: 518-425-2518
Email Address: loner@lonerdrafting.com

DATE: SEPTEMBER 29, 2020

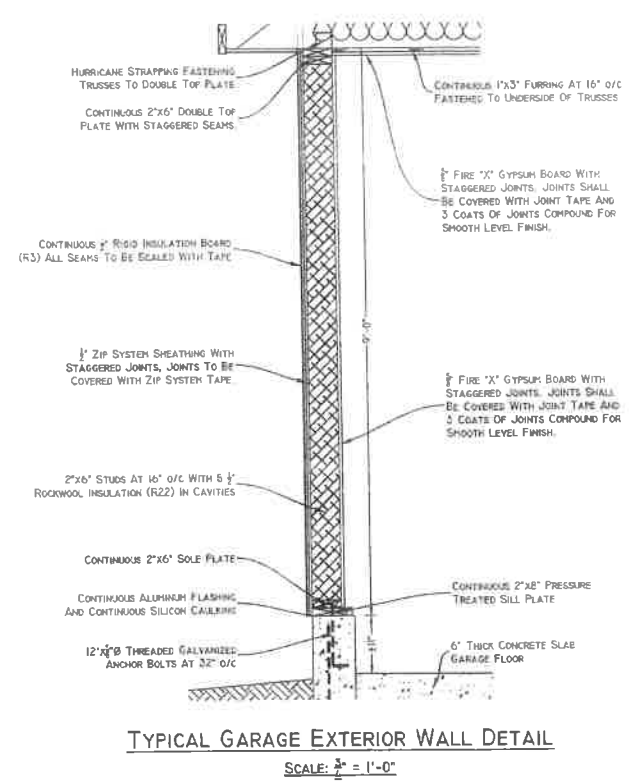
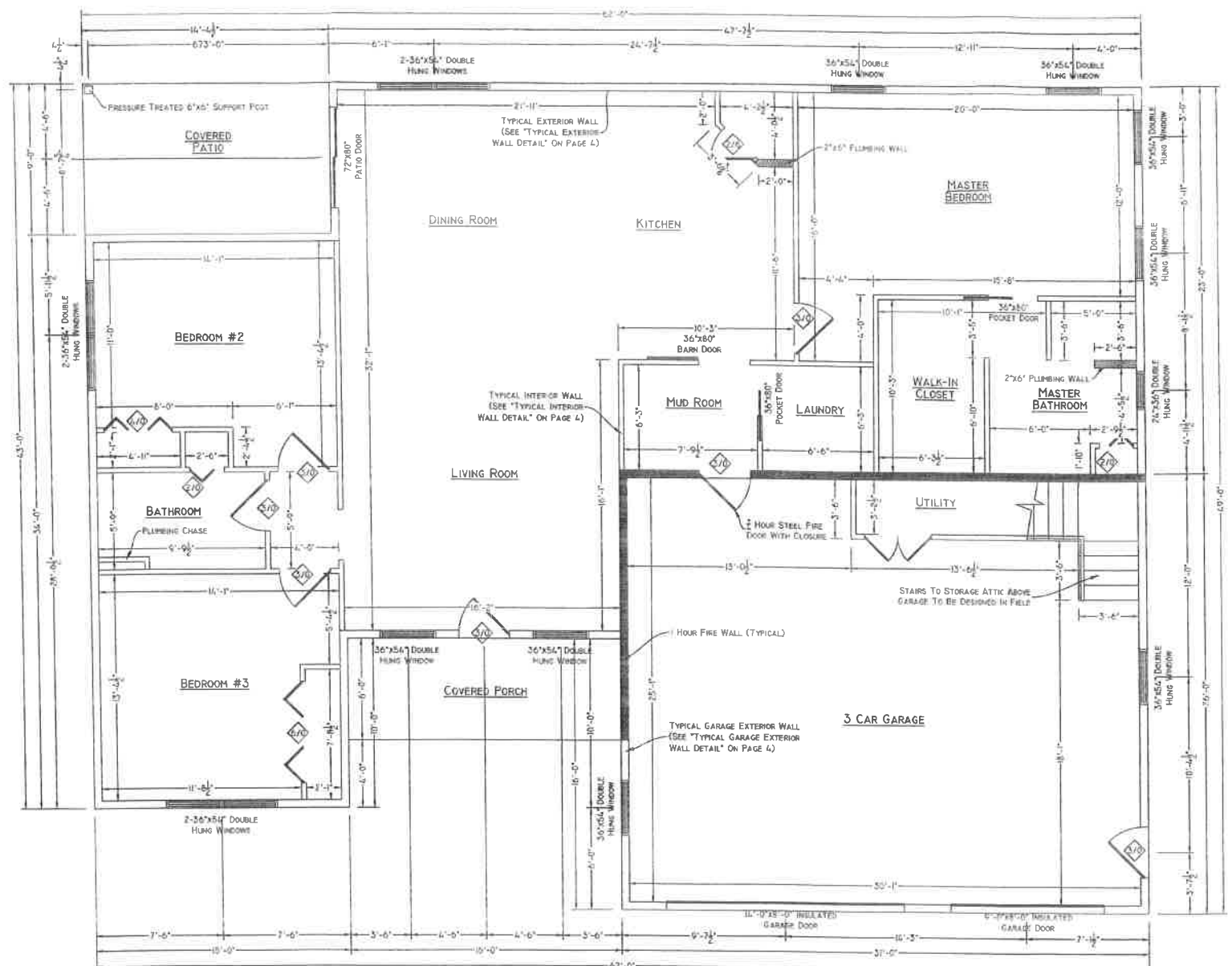
SCALE: 3/16" = 1'-0"

DRAWN BY: P.E. LONER

JOB NUMBER: 403

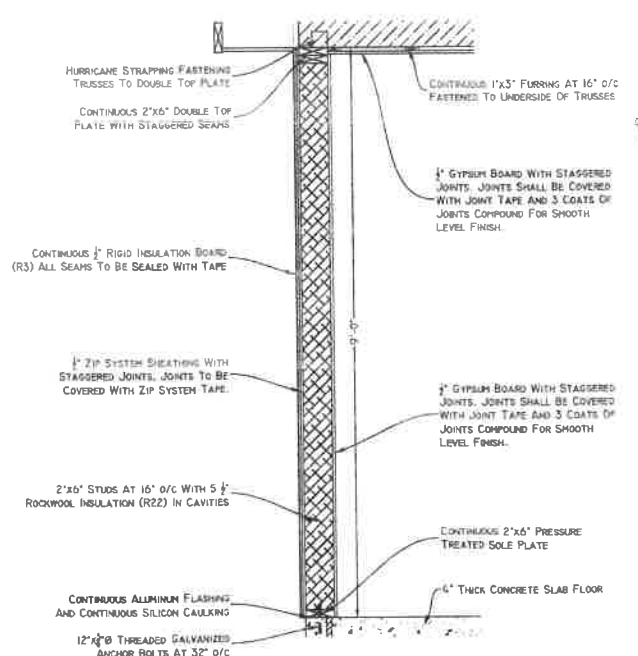


GUAY RENOVATIONS
 CONNECTICUT ROAD
 PLATTSBURGH, NEW YORK 12901
FIRST FLOOR PLAN AND DETAILS



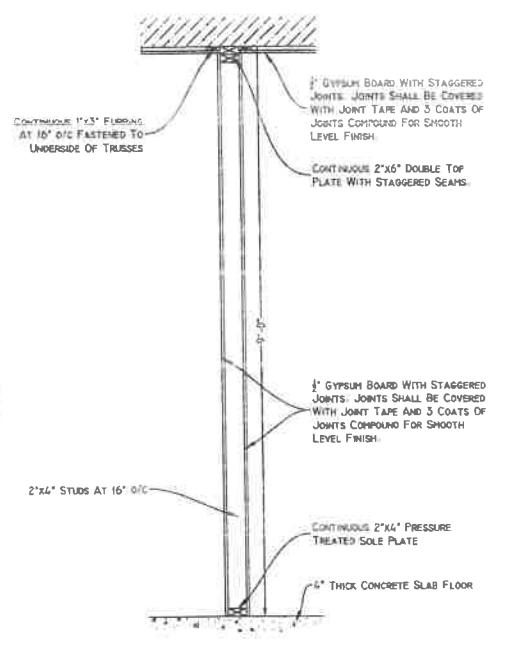
TYPICAL GARAGE EXTERIOR WALL DETAIL

SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR WALL DETAIL

SCALE: 1/4" = 1'-0"



TYPICAL INTERIOR WALL DETAIL

SCALE: 1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH FEDERAL, NEW YORK STATE AND LOCAL BUILDING CODES.
 - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AND HAVE SILL SEAL MATERIAL BETWEEN CONCRETE AND WOOD. ALL WOOD EXPOSED TO ELEMENTS SHALL BE PRESSURE TREATED.
 - ALL FASTENERS USED WITH PRESSURE TREATED WOOD AND CONCRETE SHALL BE GALVANIZED.
 - ALL DIMENSIONS ON DRAWING ARE TO FACE OF STUD OR CENTER OF DOOR, WINDOW, AND POST.
 - EXTERIOR WALLS SHALL BE CONSTRUCTED WITH FOLLOWING MATERIALS (SEE "TYPICAL EXTERIOR WALL SECTION" ON PAGE 4):
 - CONTINUOUS 2"x6" PRESSURE TREATED SOLE PLATE, FASTENED TO CONCRETE USING ANCHOR BOLTS WITH 2"x2" GALVANIZED WASHERS AND NUTS AT 32" O/C (12" OFF CORNERS AND OPENINGS). FACE OF SOLE PLATE SHALL BE FLUSH WITH FACE OF CONCRETE.
 - 2"x6" STUDS AT 16" O/C WITH JACK STUDS FOR DOOR AND WINDOW OPENINGS SUPPORTING HEADERS (SEE HEADER DETAILS ON PAGE 5).
 - CONTINUOUS 2"x6" DOUBLE TOP PLATE, JOINTS SHALL BE STAGGERED AND INTERCONNECTED WITH INTERIOR WALLS.
 - EXTERIOR SHEATHING SHALL BE 1/2" THICK ZIP SYSTEM. SHEATHING SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. ALL SEAMS SHALL BE COVERED WITH ZIP SYSTEM TAPE.
 - CONTINUOUS 1/2" RIGID INSULATION (R3) ALL SEAMS TO BE SEALED WITH TAPE.
 - WALL CAVITIES SHALL BE FILLED WITH 5 1/2" ROCKWOOL INSULATION (R22), TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 - INTERIOR WALLS SHALL BE CONSTRUCTED WITH FOLLOWING MATERIALS (SEE "TYPICAL INTERIOR WALL SECTION" ON PAGE 4):
 - CONTINUOUS 2"x4" PRESSURE TREATED SOLE PLATE, FASTENED TO CONCRETE WITH THUNDERSTUDS AT 32" O/C (12" OFF CORNERS & OPENINGS).
 - 2"x4" STUDS AT 16" O/C WITH JACK STUDS FOR DOOR OPENINGS SUPPORTING HEADERS (SEE HEADER DETAILS ON PAGE 5).
 - CONTINUOUS 2"x4" DOUBLE TOP PLATE, JOINTS SHALL BE STAGGERED AND INTERCONNECTED WITH EXTERIOR WALLS.
 - ALL WALL AND CEILING FINISHES ARE TO BE 1/2" GYPSUM BOARD. ALL JOINTS SHALL BE COVERED WITH JOINT TAPE AND LEVEL.
 - ALL WINDOW SIZES ARE INDICATED ON PLANS. WINDOW MANUFACTURER, STYLE AND FINISH SHALL BE DETERMINED BY HOMEOWNER. WINDOWS IN BEDROOMS SHALL COMPLY WITH NEW YORK STATE EGRESS REQUIREMENTS. WINDOW "U" VALUES SHALL BE 0.26 OR BETTER. WINDOWS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. WINDOWS SHALL MEET OR EXCEED VALUES ON RESCHECK DOCUMENTATION.
 - ALL DOOR SIZES ARE INDICATED ON PLANS. DOOR MANUFACTURER, STYLE AND FINISH SHALL BE DETERMINED BY HOMEOWNER. WINDOW "U" VALUES SHALL BE 0.26 OR BETTER. WINDOWS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DOORS SHALL MEET OR EXCEED VALUES ON RESCHECK DOCUMENTATION.
 - GARAGE SHALL BE FINISHED WITH 5/8" FIRE "X" GYPSUM BOARD ON WALLS AND CEILING. GYPSUM BOARD SEAMS SHALL BE STAGGERED AND ALL JOINTS COVERED WITH JOINT TAPE AND 3 COATS OF JOINT COMPOUND.
 - SUPPORT POSTS FOR PATIO SHALL BE 6"x6" PRESSURE TREATED AND ANCHORED TO CONCRETE USING GALVANIZED BRACKETS AND FASTENERS. POSTS SHALL HAVE 4"x4" BRACING FROM POST TO BEAM AS INDICATED ON ELEVATION DRAWINGS.

LONER DRAFTING SERVICES
 PAUL E. LONER
 89 SALLY ARBEE, PLATTSBURGH, NEW YORK 12901
 PHONE: (518) 438-2514
 EMAIL: loner@lonerdrafting.com
 DATE: **SEPTEMBER 29, 2020**
 SCALE: 1/4" = 1'-0"
 DRAWN BY: **P.E. LONER**
 JOB NUMBER: **403**
4